

ORDINANCE NO. 2019-105

AN ORDINANCE TO ADOPT DESIGN REVIEW STANDARDS FOR THE CITY OF
RIDGETOP, TENNESSEE

Whereas, in pursuance of authority granted by Section 6-54-133 of the *Tennessee Code* to permit a municipality to develop guidelines for the exterior appearance of nonresidential and multifamily residential properties within the municipality's jurisdiction;

Whereas, the Board of Mayor and Aldermen of Ridgetop, Tennessee recognizes a need for supplementation of the adopted land use controls for general regulation of development within the municipality and has duly created a design review commission with the authority to develop and administer guidelines for design review;

Whereas, the Ridgetop Municipal Planning Commission has reviewed such design review guidelines and recommended to the Board of Aldermen that the 'Design Review Manual' be adopted by Ordinance as hereinafter described; and

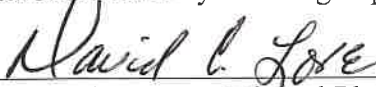
Whereas, the Board of Aldermen has reviewed such recommendation and have conducted a public hearing thereon.

NOW BE IT ORDAINED, by the Board of Mayor and Alderman of the City of Ridgetop that the Ordinance is hereby adopted as follows:

(see Attached document '*Design Review Manual*')


BE IT ENACTED, that this shall be effective immediately upon its passage and publication of its caption in a newspaper of general circulation within the City of Ridgetop, the public welfare requiring it,

Recommended by the Ridgetop Municipal Planning Commission on April 25, 2019


Chair, Ridgetop Municipal Planning Commission

Passed First Reading August 20, 2019

Passed Second Reading October 15, 2019 Date of Public Hearing October 15, 2019


Tony Reasoner, Mayor

ATTEST: 
Kelly Rider, City Recorder

DESIGN REVIEW MANUAL



RIDGETOP, TENNESSEE

Adopted October 15, 2019

Dedicated to Donald Joseph (Donnie) Miller
May 11, 1946-January 15, 2019

Amendments

Date

Ordinance number

Amendments

1. INTRODUCTION

The City of Ridgetop, comprising a total land area of approximately 1,862 acres, is situated at the edge of the Highland Rim in the southeastern corner of Robertson County. Ridgetop lies along U.S. Highway 41 (Springfield Highway) with its southeastern boundary adjacent to Metropolitan Nashville-Davidson County.

The community is located eight miles from Springfield, the county seat of Robertson County. Ridgetop is within ten (10) minutes of the Rivergate area and twenty-five (25) minutes from downtown Nashville. It has access to Interstate 65 via U.S. Highway 41 (Springfield Highway) and State Route 257 (Woodruff Avenue/Bethel Road.)

Ridgetop has attracted residents, businesses and employment opportunities for over 200 years. With the turn of the 20th Century and draw to the Highland Rim of wealthy Nashvillians during the summer months and the construction of the railroad tunnel in the early 1900's, much has shaped the environment of the community. Its close proximity to Nashville has earned its reputation as one of multiple bedroom communities in the Greater Nashville region. Therefore, this environment sets a demanding standard which provides a unique setting for places to live, shop and work. While the population of the Greater Nashville region has been robust in the last 20 years, Ridgetop's proximity to Nashville and the availability of sanitary sewer has invited the opportunity for higher density residential and diverse commercial development.

This Design Review Manual (hereafter referred to as Manual) is to promulgate a set of design standards for non-residential development along the major corridor in the City, and multi-family residential development outside of the major corridor, both aimed at ensuring that Ridgetop lives up to its residents' aspirations.

1.1 PURPOSE

The purpose of this Manual is to conserve property values within the City of Ridgetop along its major corridors by establishing design review standards for the review of new development henceforth erected, reconstructed or altered, and thereby:

- (A) To promote qualities in the environment that sustains the community's economic well-being.
- (B) To foster the community's attractiveness and functional utility as a place to live and to work.
- (C) To preserve the community's heritage by maintaining the integrity of any area(s) enjoying a discernible character contributing to this heritage.
- (D) To safeguard public investment within the community.
- (E) To raise the level of citizen expectations favoring the quality of the community's visual environment.

1.2 BASIS FOR THE DESIGN REVIEW STANDARDS

6-54-133 of *The Tennessee Code* gives the City of Ridgetop, Tennessee the authority to develop general guidelines for the exterior appearance of nonresidential property, multi-family residential property, and any entrance to a nonresidential development. The basis for these design review standards are as follows:

- (A) Enhancing the character and stability of residential, business, commercial, and industrial areas, and promoting the orderly and beneficial development of such areas;
- (B) Preventing overcrowding of land;
- (C) Conserving the value of land and buildings;
- (D) Minimizing traffic hazards and congestion;
- (E) Preventing undue concentration of population;
- (F) Providing for adequate light, air, privacy, and sanitation;
- (G) Reducing hazards from fire, flood, and other dangers;
- (H) Assisting in the economic provision, utilization, and expansion of all services provided by the public, including but not limited to roads, water and sewer services, recreation, schools, and emergency services;
- (I) Encouraging the most appropriate uses of land; and
- (J) Enhancing the natural, man-made and historical amenities of Ridgetop, Tennessee.

The standards, which follow, translate these purposes into guidelines for design. This Manual also outlines the process which applicants must follow to seek approval of their projects by the design review committee which has been designated as the Ridgetop Municipal Planning Commission (hereafter referred to as Planning Commission.)

1.3 ROLE OF THE PLANNING COMMISSION

The Planning Commission shall administer the provisions of this Manual including, without limitation:

- (A) Certification that proposed development comports with the design standards set forth herein.

- (B) Recommendation of amendments, as necessary, to the Design Review Manual for approval by the Board of Mayor and Aldermen of Ridgetop, Tennessee (hereafter referred to as Board).
- (C) Design-based recommendations for rezoning requests to the Board, whenever future developments are proposed that will eventually be reviewed based on the provisions in this Manual.
- (D) Consultation with local departments and other appropriate agencies on matters addressed in this Manual.

1.4 AMENDMENTS TO THE MANUAL

Amendments to this Manual shall be made by ordinance approved by the Board, with prior recommendation by the Planning Commission.

1.5 INTERPRETATION AND CONFLICT WITH OTHER REGULATIONS

This Manual explains the goals and standards which the Planning Commission will apply in reviewing proposals. It does not reproduce all of the specific requirements stated in the Zoning Ordinance, Subdivision Regulations, Municipal Code, or other applicable development standards and regulations. Applicants are advised to consult all such documents prior to preparing plans. The Manual is intended to complement these ordinances and regulations and explain graphically what is intended. In the event that there appears to be differences between the Manual and other standards adopted by the Planning Commission or the City of Ridgetop, the more stringent standards shall apply.

1.6 ACTIONS SUBJECT TO DESIGN REVIEW

All new development, redevelopment, physical improvements, expansions, or changes to land zoned C-1 (General Commercial) as identified according to the Official Zoning Map for Ridgetop, Tennessee and located along U.S. Highway 41 from each end of the corporate limits, and to any land zoned R-3 (High-Density Residential) involving multi-family residential developments, as defined by ART II, Section 2.020 of the Ridgetop Municipal Zoning Ordinance, is subject to these design review standards if the development is subject to at least one of the following:

- (A) Site plan approval under Article III, Section 3.120 of the Zoning Ordinance for all new buildings and activities unless otherwise specified;
- (B) Site plan approval for any uses permitted by special exception under Article VII, Section 7.060 of the Zoning Ordinance involving either a new structure, or addition or expansion to an existing structure as specified below. Special Exceptions which are deemed subject to review per this Manual shall first be reviewed by the Board of Zoning Appeals prior to final design review by the Planning Commission; or

- (C) Any development involving an addition or expansion to an existing structure totaling 50% or more of the ground floor area.

1.7 DEVELOPMENT EXEMPT FROM DESIGN REVIEW

Any use not defined as multi-family residential per ART II of the Zoning Ordinance are expressly exempted from the requirements of this Manual; any development that would be subject to design review but was built prior to the adoption of this Manual; reconstruction or repairs required for immediate public health or safety reasons, as determined by the Zoning Administrator; or any legal nonconforming commercial, industrial, or business uses of land, including expansion of use, as described in Article VI, Section 6.020 (C) of the Zoning Ordinance.

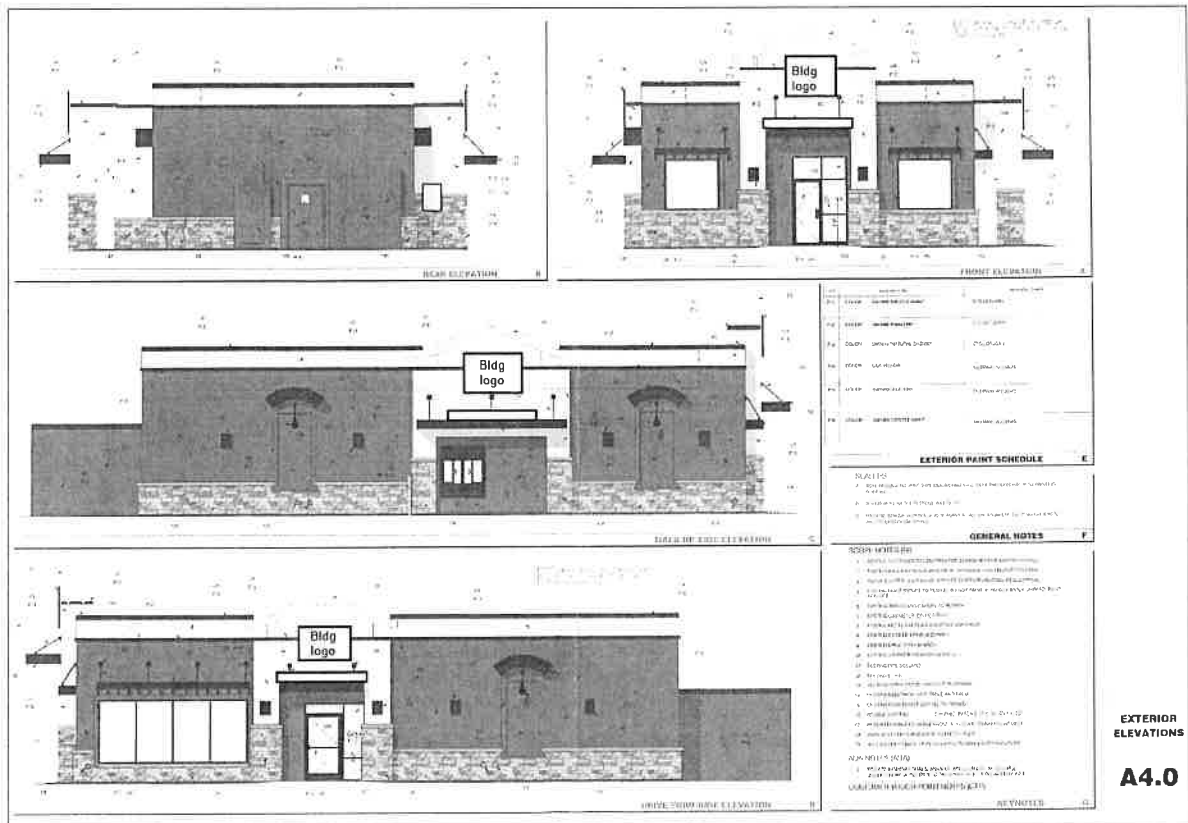
Exterior painting of structure(s) or replacement of one exterior building material for another is likewise exempted from the requirements of regular Design Review per this Manual, unless the development's original design approval included color compatibility or acceptable material review per Section 2.2 below.

1.8 DESIGN REVIEW APPLICATIONS AND PROCESSING

Submission to Planning Staff and Initial Review

Applicants for design review certification shall submit to the Planning Staff the photographs, conceptual building designs, and other necessary details referenced in Section 2.1, of the Manual. All applications shall be submitted at least fifteen (15) calendar days prior to the Planning Commission meeting. The Planning Staff will review all submittals and submit to the Planning Commission for their review, however, the Planning Staff is reserved the right to reject any application that is incomplete. Written comments from the planning staff will be made available to applicants at least one (1) calendar week prior to the Planning Commission meeting, in which their project will be heard after Planning Staff determination that the application comports with the requirements of Section 2.1. Planning Staff shall transmit the application with all written staff comments and recommendations to the Planning Commission. Viewpoints expressed by the Planning Staff shall be advisory only; no legally enforceable rights or expectations of any kind shall vest until the applicant's formal application for certification has been processed in accordance with all the provisions of this Manual.

The planning commission may also require such other information or exhibits, including samples of proposed building materials, example photos, or other information as may be considered necessary to reach an informed decision on the acceptability of the project in the judgement of the planning commission.



A general example of architectural exterior for a restaurant

Review by Planning Commission

The Planning Commission shall approve, approve with conditions, or disapprove an application for design review certification within thirty (30) days of the application's initial review by the Planning Commission. Failure of the Planning Commission to complete its review and make its decision and recommendation within 60 days after a formal application with all the required materials is received shall be deemed a recommended approval of the application unless the Planning Commission and the applicant agree to a greater time period. All decisions by the Planning Commission shall be deemed final. The Planning Commission's proceedings and reasons for its decisions on all applications shall be clearly stated in the official Minutes of the Planning Commission meeting. An approved application and its supporting exhibits shall be endorsed as approved by the Planning Commission.

Design review certification shall not constitute site plan approval as provided in ART III, Section 3.120, or receipt of building permit as provided in VII, Section 7.050 of the Zoning Ordinance. Certification of the design review application shall be as a separate action by the Planning Commission from site plan approval.

Appeal of Planning Commission Actions

Any person aggrieved by a decision made by the Planning Commission under this Manual may appeal the action, per 6-54-133 of The Tennessee Code, to the

Board within thirty (30) days in writing. Such appeal shall set forth the grounds with which the person filing the appeal takes exception to the decision made by the Planning Commission on an application. Appeals shall be decided within sixty (60) days of their filing unless the applicant and the Board agree to extend this period. In reviewing the appeal, the Board shall not invalidate the Planning Commission's action, unless approved by majority of the entire membership of the Board. The reason for the decision of the Board's determination shall be clearly reflected in the Board's official minutes.

If the Board invalidates the Planning Commission's action, it may, in its discretion, either exercise the powers of the Planning Commission or remand the matter, along with its statement of reasons, to the Planning Commission for further action not inconsistent with these reasons, which the Planning Commission shall conduct another review.

1.9 WAIVER OF DESIGN REVIEW REQUIREMENTS

The Planning Commission, in its judgment, may waive any of the requirements of this Manual that it believes are unnecessary to require the applicant to provide in the development design. If the Planning Commission finds that, in its judgment, a waiver of any such requirement does not nullify the general intent and purpose of this Manual, then it shall have the prerogative to approve it. Any waiver(s) and the purpose for granting such shall be reflected in the official minutes of the Planning Commission.

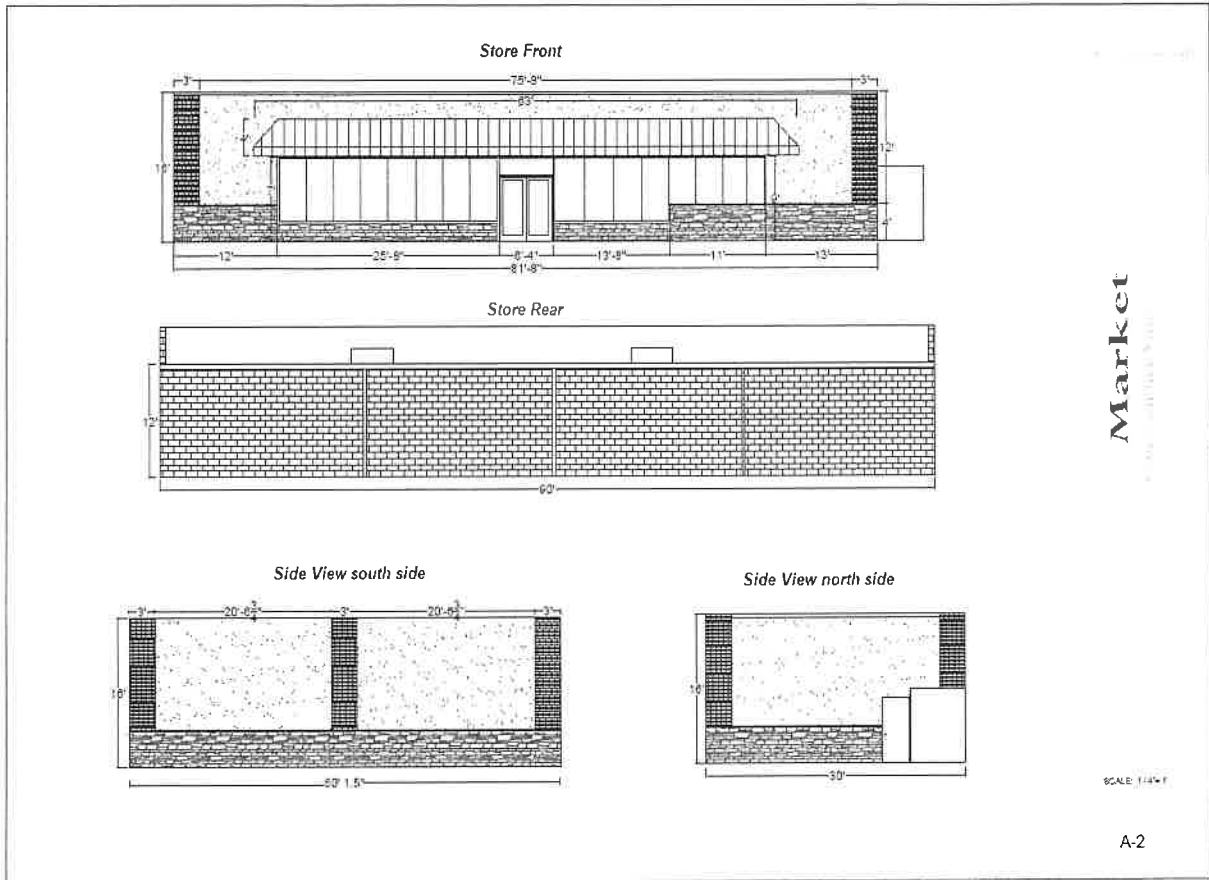
1.10 VESTED RIGHTS

Any development approved after this Manual's effective date of adoption shall have a vested right to develop under the requirements established at the time of approval. Otherwise, any alterations to an approved development plan after a change to any provision of this Manual shall be subject to the new standard, unless the Planning Commission agrees to waive that standard as provided in Section 1.9.

1.11 PROHIBITIONS

No building permit, license, certificate, or other approval or entitlement shall be issued or given by the City with respect to any development subject to design review, until the development has been approved pursuant to this Manual. No certificate of use or occupancy, whether temporary or permanent in form, shall be given for any such development until the Zoning Administrator has certified that the development has been completed in accordance with the design approved by the Planning Commission; provided, however, that the Zoning Administrator, in their discretion, may elect to grant a Temporary Use and Occupancy Permit subject to a reasonable bond guaranteeing that the applicant will complete the development in accordance with the approved design within a time certain.

Failure to comply with the requirements of this Manual, after a notice has been issued by the Zoning Administrator with a stated time frame for compliance, shall be deemed a violation and shall be subject to an injunction ceasing further activity, including construction and/or occupancy of the development until the violation has been remedied.



A general example of architectural exterior for a convenience store

2. DESIGN REVIEW STANDARDS

2.1 SITE LAYOUT

Design review occurs in the context of review of the required Site Plan as required by Article III, Section 3.120 of the Zoning Ordinance. To demonstrate how the architectural design relates to the overall development of the site, a conceptual plan depicting the proposed development is required to be submitted, and drawn to scale no smaller than 1" = 100' to show clearly:

- The dimensions, orientation and acreage of each lot to be built upon
- The layout of the entire project and its relationship to adjacent properties
- The location and dimensions of present and proposed streets and highways
- The location of points of entry and exit for vehicles and internal circulation

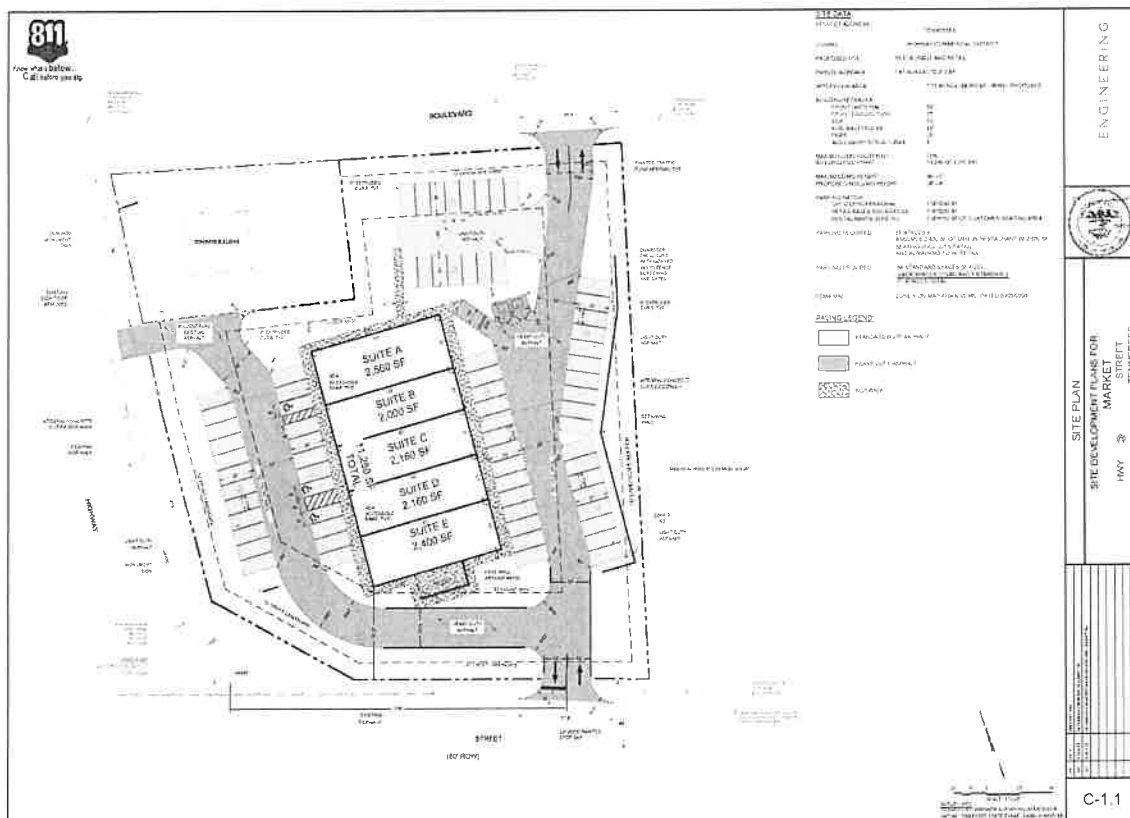
patterns

- The location and layout of all paved areas including off-street parking and loading facilities
- All existing and proposed topography, with contours at intervals of no more than 2-feet in areas that are disturbed
- The size, shape and location of existing and proposed construction with uses noted
- The location of exterior lighting and types of illumination sources, adequate to determine its character and enable review of possible hazards and disturbances to the public and adjacent properties
- The location of exterior freestanding signs
- The seal of a civil engineer or surveyor licensed in the State of Tennessee

A plan providing all requirements as indicated for site plan review per Article III, Section 3.120 of the Zoning Ordinance may be utilized provided the above details are included.

A site landscaping plan, either as a separate drawing or integrated with the site plan above, shall be prepared by a landscape architect and showing:

- The location of existing vegetation including all trees of over 18-inch diameter to be retained or removed
- Proposed site landscaping with size, species, and numbers noted
- The location of all walls, fences, and railings with indication of their height and construction materials



A general example of site plan for a strip mall retail & restaurant

2.2 ARCHITECTURAL CHARACTER

The plans for the building façade and overall building's architectural character shall be prepared by a registered architect or engineer competent in such design.

(A) Compatibility with Surroundings and Facades, Massings and Roofs for Building

Building elevations (height) shall comply with the minimum standards per the Ridgetop Zoning Ordinance. Buildings shall avoid long, uninterrupted façade planes. The maximum permitted width of an uninterrupted façade plane shall be 50 ft.

Buildings shall have a defined base and cap.

Window and door openings shall have a vertical orientation and shall be vertically aligned between floors.

Rear and side facades, if visible from public streets, shall be similar to the primary façade in their architectural treatment.

Blank walls facing streets should be avoided.

Where a clearly established development character and scale exists, new infill development should include: a) window and door openings with area ratios and proportions similar to those on adjoining buildings, b) key design elements of surrounding buildings with respect to windows, door, and rhythm of bays, detailing, roof forms, materials and colors.

Roof forms shall be appropriate to a building's design and scale. Flat roofs or low-pitched roofs with parapet walls are encouraged for larger buildings. Alternative roof forms may be used if appropriate for a particular acceptable architectural style.

A particular roof form shall be applied to the entire roof, rather than terminating at less visible points, such as the building's rear.

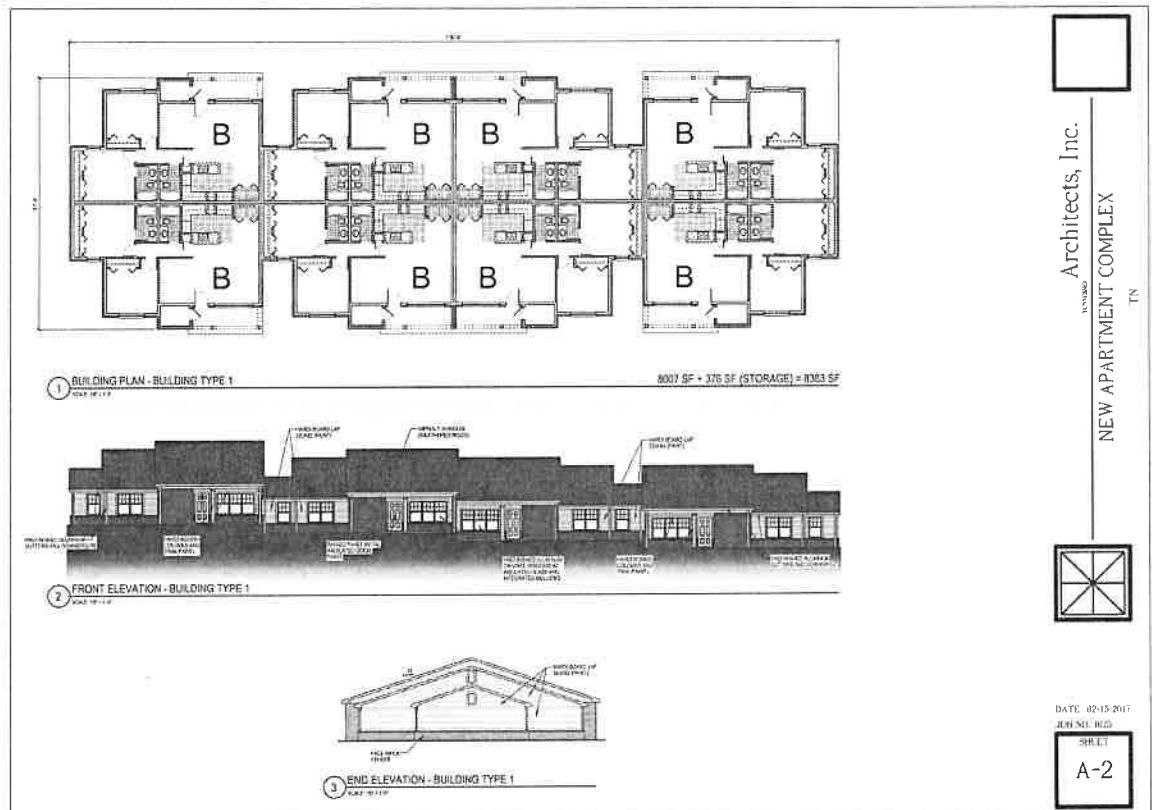
Roofs that are visible from the road shall be finished with colors and features consistent with the architecture of the façade.

Building forms should be tailored to fit within the existing topography and site features as much as possible.

Community character: In most cases, buildings are not viewed in isolation, but rather in the context of other buildings. While architectural style may vary, buildings of a proposed development shall be compatible with surrounding buildings with regard to massing, scale, proportion of openings, roof types, types of glazed openings, and degree of detail.

The use of materials and colors compatible with buildings adjacent to a site is not required. However, if the City has a basic development pattern, theme, or vision for a particular area, then such compatible design shall be adhered to in the judgement of the Planning Commission.

All exterior walls, other than windows and doors, shall be comprised primarily of one material, but may comprise of more than one material in the judgement of the Planning Commission.



A general example of architectural exterior for an apartment complex

Complementary secondary materials are recommended to provide detail and scale. The architectural treatment shall be required only on the front of the building, with exception to situations where the building is situated on a street intersection, then such side or rear face would be included. Sides and rear of buildings, as well as any accessory structures pertinent to the primary use, may be accentuated with similar materials as required above. The primary material shall extend over a minimum of fifty (50) percent of the exterior wall unless otherwise determined by the Planning Commission.

The use of materials and colors on buildings and structures, which are along arterial streets in the C-1 zoning district, are to create a unified appearance. The buildings and structures visible from the street shall not include standard block, metal siding or vinyl.

The following are acceptable as exterior materials: brick (may be required as an accent only), limestone, tile, plaster, stucco, cement fiber siding, glass and glazing, or other materials deemed acceptable by the planning commission. Ground face masonry may be used as an accent only.



White House Landing condominiums, Maiden Lane, White House

The permitted materials and prohibited materials specified in the C-1 zoning district shall also be provided in the R-3 zoning district, which are permitted along secondary arterials and collector streets as indicated on the latest official Ridgeway Major Thoroughfare map. However, for multi-family developments, discretion on metal and vinyl for exterior trim around windows and stair railings and other accent features may be permitted by the Planning Commission on a case by case basis.

Rooftop units shall be screened from all views and shall be compatible in color and material with the overall building material palette.

Primary façade materials shall not change at outside corners. Material changes shall happen along a horizontal line or where two forms meet. It is acceptable, however, for a change of materials as accents around windows, doors, cornice lines, at building corners, or in a repetitive pattern.

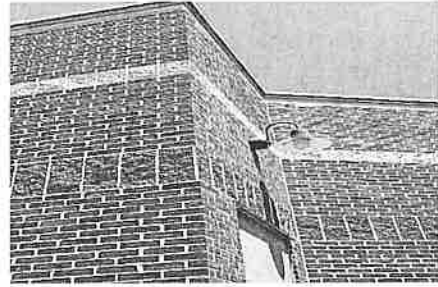
Exterior colors will be earth tones and compatible with adjacent properties. Subdued, muted colors are permitted; bright colors are acceptable on a limited basis as accent or contrast.

Prototype or franchise designs shall be designed to reflect these design standards.

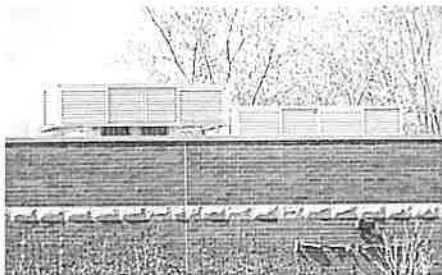
Chain-link fencing provided in an area shall be vinyl coated and of a black or dark green color.



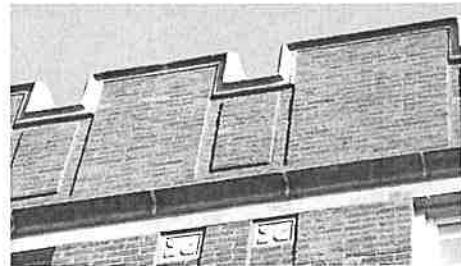
Example of ground face brick



Example of split-face brick



Example of rooftop screening



Example of parapet wall

(B) Adapting Prototypical Designs to Particular Sites

National "standard" designs should be adapted to reflect the Ridgetop context, by careful siting, use of compatible materials, and landscaping of the site so that it blends with its surroundings.



Dollar General store, Hwy 46 South, Dickson

(C) Relationship to Streets

Buildings shall be oriented such that their main entrances are visible from streets, unless the characteristics of the site and/or surrounding structures cause this to be an unnecessary hardship.



Pizza Hut, N Broadway, Portland

"Stage-set" facades on the street are not allowed. The materials and colors of the street face shall continue on the sides and rear of structures if the property is located at a street intersection.

Building service areas or loading areas shall be located away from streets and/or be adequately screened. Screening shall meet criteria identified in Section 2.6 of this Manual. Mechanical equipment on roofs or sides of buildings shall be adequately screened.

2.3 STREET DESIGN

Gateways provide a transition from State Highways into the city limits and create an entrance for the city through the use of signage, landscape, and architecture. The design of these areas displays positive green space through the use of building design and setbacks and building orientation.

Connectivity and Street Networks

- (A) All street networks shall connect with the street network of the adjacent developments, if any, or to future developments.
- (B) Street and sidewalk connections shall be made between the Highway 41 corridor and adjoining neighborhoods. Sidewalks shall be designed in accordance with ARTICLE VII, Section 701.11 of the Ridgetop Subdivision Regulations, designed for ADA accessibility, and provided along the street frontage for any C-1 zoned development, or for any R-3 zoned development where a sidewalk system is proposed by the City for that street.
- (C) Streets shall be used to reduce access when connecting multiple collector, residential, non-residential and local access streets to arterials.

- (D) Cross access easements shall be provided between adjoining C-1 zoned developments for shared access and parking, in addition to reducing access points along the commercial corridor.
- (E) Streets widths within a development shall be kept to a minimum in order to reduce driving speeds, narrow pedestrian crosswalks and minimize storm water runoff, while still allowing for vehicular and pedestrian safety, emergency service vehicle access and sufficient vehicle turning movements. Streets shall normally be designed in accordance with ARTICLE VII, Section 701 of the Ridgetop Subdivision Regulations.

2.4 PARKING CONFIGURATIONS

All off-street parking requirements, including off-street loading and unloading requirements for the site will be subject to the standards provided in Article IV, Section 4.010 thru 4.020. Handicap-accessible parking should be subject to the standards provided in the latest federal ADA standards, or ANSI standards per the latest International Building Code (IBC.) Off-street parking areas shall be internally located and/or near the periphery of the parking area. Parking areas shall incorporate landscaping to formalize traffic areas and aisles, and when adjacent to residential zones not C-1 or R-3 zoned.

2.5 LANDSCAPE AND BUFFERING

Due to the nature of the uses subject to this Manual and their potential for adverse impact on surrounding properties, all proposed developments shall provide adequate landscaping. The intent is to increase the aesthetic appeal of the site, to reduce the harmful impact of noise, dust, glare of automobile light or other artificial light, and related.

In addition to standards provided in the Zoning Ordinance, a minimum ten percent (10%) of the entire development site is required, consisting of trees, shrubs, hedges, flowers, fountains, rock gardens, works of art, grasses, etc. Unless such peculiar circumstances involve a variance from the Board of Zoning Appeals, or conditions for Special Exceptions, the Planning Commission may exercise its discretion to determine adequate screening techniques and plant species are addressed.

A ten (10) foot grass or landscaped strip shall be preserved along the front property line except at points to provide ingress/egress to streets. No landscaping shall hinder visibility at internal or external intersections.

Evergreen plant species are recommended for year-round buffering. No plant species should be invasive or otherwise create a nuisance with local utilities. Such evergreen species include: Arborvitae, Hetzi Juniper, White Pine, Red Pine, and Yew; Red-Tipped Photinia, Euonymous, and Holly. Ornamental shrubs may also be used for screening as required in Section 2.6 below: Willowood, Viburnum, Flowering Crab, Dogwood, Magnolia, and Purple Leaf Plum.

2.6 SCREENING

All fences, walls, and screening proposed for the site will be subject to the following standards:

Open storage of materials, refuse, bailers or other items pertinent to the business activity shall be screened from view by a fence or other enclosure with a minimum opacity of seventy-five (75) percent. If chain-link fencing provided, vinyl slats of no more than two colors may be used for screening and should not include barbed-wire fencing less than five (5) feet above grade level. Wood panel fences may be used provided they are regularly treated and maintained. These screening requirements shall be at the discretion of the Planning Commission if areas are located so they are not visible from public streets or adjacent properties.

External storage of refuse/waste receptacles shall be adequately screened on all sides to a height of no less than two (2) feet above the receptacle. Landscaped plantings shall be required around three sides of all dumpster screens to soften the effect of fencing.

Restaurants, convenience stores, gas stations, or other activity that utilizes drive-thru service shall provide one or more outdoor trash receptacles usable by patrons of the business.

Fences and walls for separation of off-street parking, loading/unloading areas, or other aesthetical treatment are an attractive amenity at the street level. Fences and wall should be so designed to avoid impeding vision in any required front yard above the height of three and one-half (3 ½) feet. Fences may be designed with stone, masonry, split-rail posts, or any combination of. Vinyl-coated rail posts may be used at the discretion of the Planning Commission.



Old Hickory Credit Union, Greenbrier

2.7 LIGHTING

To reduce adverse impacts on adjacent sites and minimize energy consumption, lighting shall be carefully located and its intensity shall be the minimum necessary for safety. Lighting levels shall be as even as possible; lighting fixtures, which cast light primarily downward, shall be used; and warm lighting colors are required.

Ground-oriented, pedestrian scale lighting should be considered as an alternate to pole-mounted fixtures along sidewalks. Lighting fixtures should be compatible in style with associated buildings.

2.8 SIGNAGE

The overall objective of the sign standards herein is to ensure that signage does not detract from the character that Ridgetop is striving for, with emphasis on signage for identification purposes over advertising. Freestanding monument signage is strongly encouraged, incorporating similar building materials used in the principal building(s), to fulfill this objective.

The Ridgetop Sign Ordinance establishes sign requirements for all developments in the R-3 and C-1 zoning districts. The Sign Ordinance covers both temporary and permanent signs and should be consulted for specific requirements. This information will be reviewed as part of the Design Review Process and overall Site Plan Review.

2.9 CONTINUING MAINTENANCE

Following the construction or modification of any development, the design of which is approved pursuant to this Manual, the development shall be maintained in accordance with the following standards:

- (A) Buildings and appurtenances, including signs and awnings, shall be cleaned and painted or repaired as required to maintain an attractive appearance.
- (B) Illuminated elements of buildings and signs shall be replaced as required to maintain the effect for which designed.
- (C) Plantings shall be kept watered, fed, cultivated, and pruned to give a healthy appearance during all seasons. Plant materials which have deteriorated shall be replaced with healthy plantings.
- (D) Vacant property shall be kept free of refuse and debris and shall have the vegetation cut periodically during the growing season as referenced in the Ridgetop Municipal Code.

Failure to comply with the requirements of this section, after a notice of noncompliance has been issued by the Zoning Administrator with a stated timeframe for compliance, shall be deemed a violation of this Manual and cited under Title 12, Title 13, and Title 16 of the Ridgeway Municipal Code.

3. **DEFINITIONS**

For purposes of this Manual, the following terms are hereby defined as follows where necessary for declarative and interpretive purposes, whether the terms are used in this Manual or not. Terms not herein defined shall have their standard dictionary definition such as the context may imply, or use of definitions found in other local regulations as referenced in this Manual.

Architecture – The art and science of designing and constructing buildings adapted to their purposes, one of which is for their aesthetic effect to their surroundings.

Buffer – A strip of land that physically separates two or more different land uses. These areas are typically landscaped with evergreen plants or contain walls that strengthen the barrier between uses.

Building Scale – The relationship between the mass of a building and its surroundings. This includes the street width, open space, and mass of adjacent buildings.

Caliper – The diameter of a tree trunk measured in inches.

Collector Street – Roadways that serve internal traffic movements by connecting several local streets with an arterial roadway.

Common entryways – Access entry/exit points to several connected parking facilities.

Corridors – A long passageway connecting two or more points that may include major roadway.

Exterior – The façade, sides, and rear walls of any structure, and includes any external features visible from the street.

Façade – The front or principal face of a building.

Front Setback – The distance from the face of curb to the face of the building.

Gateway – An architectural feature or landscaping that signifies a transition between one space and another or a principle point of entrance to a district or neighborhood.

Greenway – A greenway is an area of open space interspersed throughout and

along the perimeter of the development.

Human Scale – The relationship between the dimensions of a building, structure, street, open space, or streetscape element and the average dimension of the human building.

Landscaping – The planting and maintenance of trees, shrubs, lawns, and other ground cover or materials integrally incorporated into a development design.

Local Streets – Roadways that provide direct access to the adjacent land. These roadways typically accommodate low volumes of traffic.

Major Thoroughfare map – The map on which the planned locations of present and future municipal arterials and collector streets are indicated.

Massing – The three-dimensional form of a building.

Off-street Parking – Single level parking for automobiles located at the ground level.

Parapet – That portion of a wall which extends above the roof line.

Parks – areas for active and passive recreation within walking distance of commercial and residential areas.

Planting Strip – Narrow planting bed typically located between two paved areas, such as a sidewalk and a street, or between a paved area and a building.

Primary Streets – Roadways designed to move high volumes of traffic between various points within a region. Typically, these roadways have limited access and connect with collector streets.

Public Open Space – Informal or formal outdoor areas that are intended for use by the general public for passive or active recreation. These areas can vary in size and may include but are not limited to the following elements: seating, landscaping, playground equipment, playing fields, and water features.

Rear Setback – The distance from the property line to the back of the building

Right-of-Way – An area or strip of land acquired by reservation, dedication, or prescription and intended to be used for the public that allows for passage of people or vehicles, including freeways, streets, bike paths, alleys, sidewalks, utilities, or for access to real property. A right-of-way typically is dedicated or deeded to the public for public use under the control of a public agency.

Screening – The method by which a view of one site from another adjacent site is shielded, concealed, or hidden.

Secondary Streets – Roadways designed to move lower volumes of traffic between various points within a region. Typically, these roadways provide access in lieu of Primary Streets.

Setback – The distance between a property line or other boundary and a building or structure.

Side Setback – The distance from the property line to the side of the building

Sidewalk – An improved pedestrian surface that is typically located adjacent to a roadway, or for internal accessibility on premises by pedestrians.

Sign Area – The area or areas on a commercial building façade where signs may be located without disrupting the façade composition.

Site Plan – A plan, drawn to scale, showing uses and structures proposed for a parcel of land as required by local regulations, including lot lines, streets, building sites, reserved open space, landscaping both natural and manmade, parking and access, utilities, and other requirements.

Split-face brick – a design technique which the exterior wall design has a mixture of different brick styles.

Stage-set façade – a design technique which the building's façade is not designed to be a supporting wall of the principal building.

Street Fixtures – Items such as trash receptacles, mailboxes, benches and planters, lighting, etc.

Street Furniture – Functional elements of the streetscape that can include such items as seating, trash receptacles, telephones, kiosks, sign posts, lighting or planters.

Street Tree – A tree planted as an element of the streetscape that forms a visual edge between the street and the pedestrian and building zone.

Streetscape – The combination of building facades, signage, landscaping, street furnishings, sidewalks, and other elements along a street. The quality of these elements and the degree to which they complement each other determine the quality of the streetscape.

Traffic Calming – Simple street design features that slow traffic and cause motorists to drive more cautiously.

Tree/Shrub Species – A unit in a plant classification. A species may be defined as a collection of individuals so nearly resembling one another that they suggest common parentage.

Valance – The overhang of awning where signage may be placed.

Wall – A constructed solid barrier of concrete, stone, brick, tile, wood, or similar type of material that closes, marks, or borders a property or parking lot. For purposes of this Manual, 'Wall' also means the vertical exterior surface of a building.

Zoning – The basic means of land use control employed by a local government. Zoning divides the community into districts (zones) and imposes different land use controls on each district, specifying the allowed uses of land and buildings, the intensity or density of such uses, and the bulk of buildings on the land.

Zoning Administrator – The local official responsible for enforcement of zoning regulations. For purposes of this Manual, the Zoning Administrator is the public officer responsible for enforcement of the requirements contained herein.

4. **EFFECTIVE DATE**

These design review standards shall take effect and be in force from and after the date of the adoption of the Manual, the public welfare demanding it.

Certified by the City of Ridgetop Municipal Planning Commission.

10-18-19 David C. Love
Date Chair
Planning Commission

Approved and adopted by the Board of Mayor and Aldermen of Ridgetop, Tennessee

10-18-19 Tony Reasoner
Date Mayor
City of Ridgetop, Tennessee

ATTEST:

City Recorder